

City of Cranston Zoning Board of Review Application

Application for exception or variation under the zoning ordinance "City of Cranston Zoning Code, December 1994 Edition as amended."

To: Cranston Zoning Board of Review
35 Sockanosset Crossroad Suite 6
Cranston, RI 02920

Date: May 26, 2023

THE UNDERSIGNED HEREBY APPLIES TO THE ZONING BOARD OF REVIEW FOR AN EXCEPTION OR A VARIATION IN THE APPLICATION OF THE PROVISIONS OR REGULATIONS OF THE ZONING ORDINANCE AFFECTING THE FOLLOWING DESCRIBED PREMISES IN THE MANNER AND ON THE GROUNDS HEREINAFTER SET FORTH.

OWNER: Cranston Street Associates, LLC

ADDRESS: 149 Colonial Road, Manchester, Connecticut ZIP CODE: 06042

APPLICANT: Colbea Enterprises, L.L.C.

ADDRESS: 695 George Washington Highway, Lincoln, Rhode Island ZIP CODE: 02865

LESSEE: Colbea Enterprises, L.L.C.

ADDRESS: 695 George Washington Highway, Lincoln, Rhode Island ZIP CODE: 02865

1. ADDRESS OF PROPERTY: 777 Cranston Street, Cranston, Rhode Island 02907
2. ASSESSOR'S PLAT #: 7 BLOCK #: 2 ASSESSOR'S LOT #: 1 WARD: 3
3. LOT FRONTAGE: 624 ft LOT DEPTH: 807.6 ft LOT AREA: 44,915 sq ft
4. ZONING DISTRICT IN WHICH PROPERTY IS LOCATED Designated C-5 Minimum 20,000 sq. ft. 35'
(ZONE) (AREA LIMITATION) (HEIGHT LIMITATION)
5. BUILDING HEIGHT, PRESENT: 0 ft 0 in PROPOSED: 36 ft 2 1/2 in
6. LOT COVERAGE, PRESENT: N/A PROPOSED: 11.1%

7. HOW LONG HAVE YOU OWNED THE ABOVE PREMISES? N/A
8. ARE THERE ANY BUILDINGS ON THE PREMISES AT PRESENT? No
9. GIVE SIZE OF EXISTING BUILDING(S): N/A
10. GIVE SIZE OF PROPOSED BUILDING(S): 5,000 sf
11. WHAT IS THE PRESENT USE? Vacant lot.
12. WHAT IS THE PROPOSED USE? Gasoline filling station with convenience store inclusive of a coffee shop/cafe and drive-through.
13. NUMBER OF FAMILIES FOR WHICH BUILDING IS TO BE ARRANGED: N/A

14. DESCRIBE IN DETAIL THE EXTENT OF PROPOSED ALTERATIONS: _____

See Project Narrative.

15. HAVE YOU SUBMITTED PLANS TO THE BUILDING OFFICIAL? Yes

16. WERE YOU REFUSED A PERMIT? No

17. PROVISION OR REGULATION OF THE ZONING ORDINANCE OR STATE ENABLING ACT UNDER WHICH APPLICATION FOR EXCEPTION OR VARIANCE IS MADE.

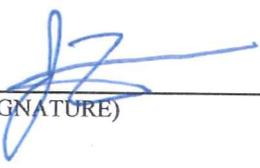
See Project Narrative.

18. STATE GROUNDS FOR EXCEPTION OR VARIANCE IN THIS CASE: _____

See Project Narrative.

SIGNATURE OF APPELLANT(S) AND ATTORNEY (IF APPLICABLE) IS REQUIRED AND MUST BE LEGIBLE.

RESPECTFULLY SUBMITTED,



(OWNER SIGNATURE)

860-646-6555

(PHONE NUMBER)

(OWNER SIGNATURE)

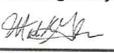
(PHONE NUMBER)

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(APPLICANT SIGNATURE)

323-828-3263

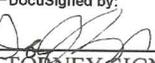
(PHONE NUMBER)

DocuSigned by:


(LESSOR SIGNATURE)

323-828-3263

(PHONE NUMBER)

DocuSigned by:


(ATTORNEY SIGNATURE)

401-427-6126

(PHONE NUMBER)

Danielle E. Dufault, Esq.

(ATTORNEY NAME-PLEASE PRINT)

ATTORNEY ADDRESS: 49 Bellevue Avenue, Newport, Rhode Island 02840

PRE-ZONING APPLICATION MEETING:

(PLANNING DEPT. SIGNATURE)

(DATE)

PROJECT NARRATIVE
RELATED TO COLBEA ENTERPRISES, L.L.C.'s
APPLICATION TO THE ZONING BOARD OF REVIEW

Colbea Enterprises, L.L.C.

**777 Cranston Street
Cranston, Rhode Island 02907**

Assessor's Plat 7/2, Lot 1, Building Pad Site No. 3

Zoned: Commercial C-5 (*with conditions*)

I. Present Use of the Premises

Colbea Enterprises, L.L.C. ("Applicant") leases a certain portion of real property located at 777 Cranston Street, Cranston, Rhode Island, further identified as Assessor's Plat 7/2, Lot 1, and formerly known as the so-called Trolley Barn property (the "Lot"), from Cranston Street Associates, LLC ("Owner"). Such property is more particularly depicted on Exhibit A attached hereto (the "Premises"). The Lot has been newly designated as a Commercial C-5 ("C-5") zoned lot with conditions, as defined in the City of Cranston, Rhode Island Code of Ordinances (the "Ordinances").

II. Proposed Use of the Premises & Relevant Permitting History

As further depicted on those certain site plans entitled "Zoning Board of Review Submission- Seasons Corner Market – 777 Cranston Street, Cranston, Rhode Island 02907, Assessor's Plat 7/2, Lot 1" prepared by DiPrete Engineering ("DiPrete") and dated May 19, 2023 (the "Plans"), Applicant proposes to construct a new 5,000 sf convenience store with co-brand coffee shop and drive-through, six (6) gasoline fuel dispensers with twelve (12) vehicle fueling positions covered by a state-of-the-art fire safety canopy and complete with four (4) electric vehicle charging stations. The proposed uses for the Premises as a fuel station minimart, convenience store and a drive-in restaurant are permitted by right in accordance with Chapter 17.20.030 of the Ordinances. Applicant submits the instant Zoning Board of Review Application (the "Application") pursuant to Chapter 17.92.010 of the Ordinances, as Applicant is seeking certain variances from the City of Cranston Zoning Board of Review (the "Board") as part of its development of the Premises.

III. Relief Requested by Applicant

1. Variance for Monument Sign – Total Area

Pursuant to Table 17.72.010(6) the total area of any monument sign shall not exceed forty-five (45) square feet. Applicant's proposed double-faced Gasoline Price Sign has a total area of 86.2 square feet. Accordingly, Applicant requests relief as to 41.2 square feet.

2. Variance for Monument Sign – Height

Pursuant to Table 17.72.010(6), the maximum height of any monument sign shall not exceed four (4) feet. Applicant's proposed double-faced Gasoline Price Sign has a height of 7.36 feet. Accordingly, Applicant requests relief as to 3.36 feet.

3. Variance for Wall Sign – Total Area

Pursuant to Table 17.72.010(6), the total area of any wall sign shall not exceed thirty (30) square feet. Applicant's proposed "Seasons" sign, which is to be situated on the front of the Seasons convenience store, has a total area of 85 square feet. Accordingly, Applicant requests relief as to 55 square feet.

4. Variance for Total Signage Area

Pursuant to Table 17.72.010(6), the total sign area shall not exceed the lesser of the following: three hundred (300) square feet or twenty (20) percent of the total street-facing façade wall area. Twenty (20) percent of the total street facing façade wall area is +/- 284.2 square feet. Therefore, the total sign area shall not exceed 284.2 square feet. Applicant's proposed total sign area is 311.8 square feet. Accordingly, Applicant requests relief as to 27.7 square feet of sign area.

5. Variance for Freestanding Signs – Total Number

Pursuant to Table 17.72.010(6), one freestanding sign shall be permitted per street frontage. Applicant proposes two (2) freestanding signs on the Premises—the EV Station Sign and the Menu Board sign. Accordingly, Applicant requests relief as to two (2) freestanding signs on the Premises.

6. Variance for Building Height

Pursuant to Chapter 17.20.120, a maximum building height of 35 feet is allowed in a C-5 zoning district. Applicant's proposed convenience store is +/- 36 feet 2-1/2 inches. Accordingly, Applicant requests dimensional relief of approximately 1 foot 2-1/2 inches.

IV. Standards for Variances

Applicant contends that the zoning variances requested meet the standards set forth in the Ordinances, Chapter 17.92.010. Specifically:

1. That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and is not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant;

2. That the hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain;
3. That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance codified in this title or the comprehensive plan upon which the ordinance is based;
4. That the relief to be granted is the least relief necessary; and
5. In granting a dimensional variance, that the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted shall amount to more than a mere inconvenience, which shall mean that there is no other reasonable alternative to enjoy a legally permitted beneficial use of one's property. The fact that a use may be more valuable after the relief is granted shall not be grounds for relief.

First, the hardship from which Applicant seeks relief is due to the unique characteristics of the subject land rather than the general characteristics of the surrounding area or because of a physical or economic disability of Applicant. The unique characteristics of the land being that the Premises is only a portion of the Lot owned by the Owner. While the Lot (within which the Premises are located) is approximately 6.61 acre lot, such Lot will be the location of four (4) separate and unique businesses, as previously considered and approved by the City. Accordingly, a strict application of the Ordinances would significantly reduce Applicant's and the other business owners' ability to provide signage for each of the proposed businesses to differentiate each from the other and to adequately guide customers to their intended destination. A strict application of the Ordinances would allow for only a maximum of 300 square feet of signage to be shared among the four businesses on the Lot – only 75 square feet for each business – which would be wholly inadequate to clearly and safely direct customers in and around the Lot. Given that the Premises' total lot area is a little over an acre, and far exceeds the minimum lot size to be a conforming standalone lot in a C-5 zone per Chapter 17.20.120 of the Ordinances and located on a +/- 6.61 acre lot, the allowance for additional signage would appear to be reasonable and necessary.

Second, the hardship is not the result of any prior action of Applicant and does not result primarily from the desire of Applicant to realize greater financial gain but rather Applicant seeks to build a modern, attractive facility that will provide City residents and those traveling to and through the City access to a brand-new gas station with modern amenities and electric vehicle charging. Applicant seeks to construct the new facility as part of Owner's larger proposed development of the Lot which has been vacant for many years. Applicant's proposed redevelopment and improvements seek to enhance not only the attractiveness and maximum utilization of the Lot but will also provide necessary services and conveniences to the surrounding area and the City at-large. Accordingly, the request is not primarily from Applicant's desire to realize greater financial gain.

Third, the granting of the requested variances will not alter the general character of the surrounding area or impair the intent or purpose of the Ordinances or the Comprehensive Plan¹, as amended. When the City Council voted in favor of both amending the Comprehensive Plan on or about January 27, 2022 and changing the Lot's zoning designation to a C-5 zone with conditions, such amendments removed any prior restrictions on the Lot that may have been prevented such uses on the Lot. As such, the proposed uses are now allowed by right and are consistent with the Comprehensive Plan.

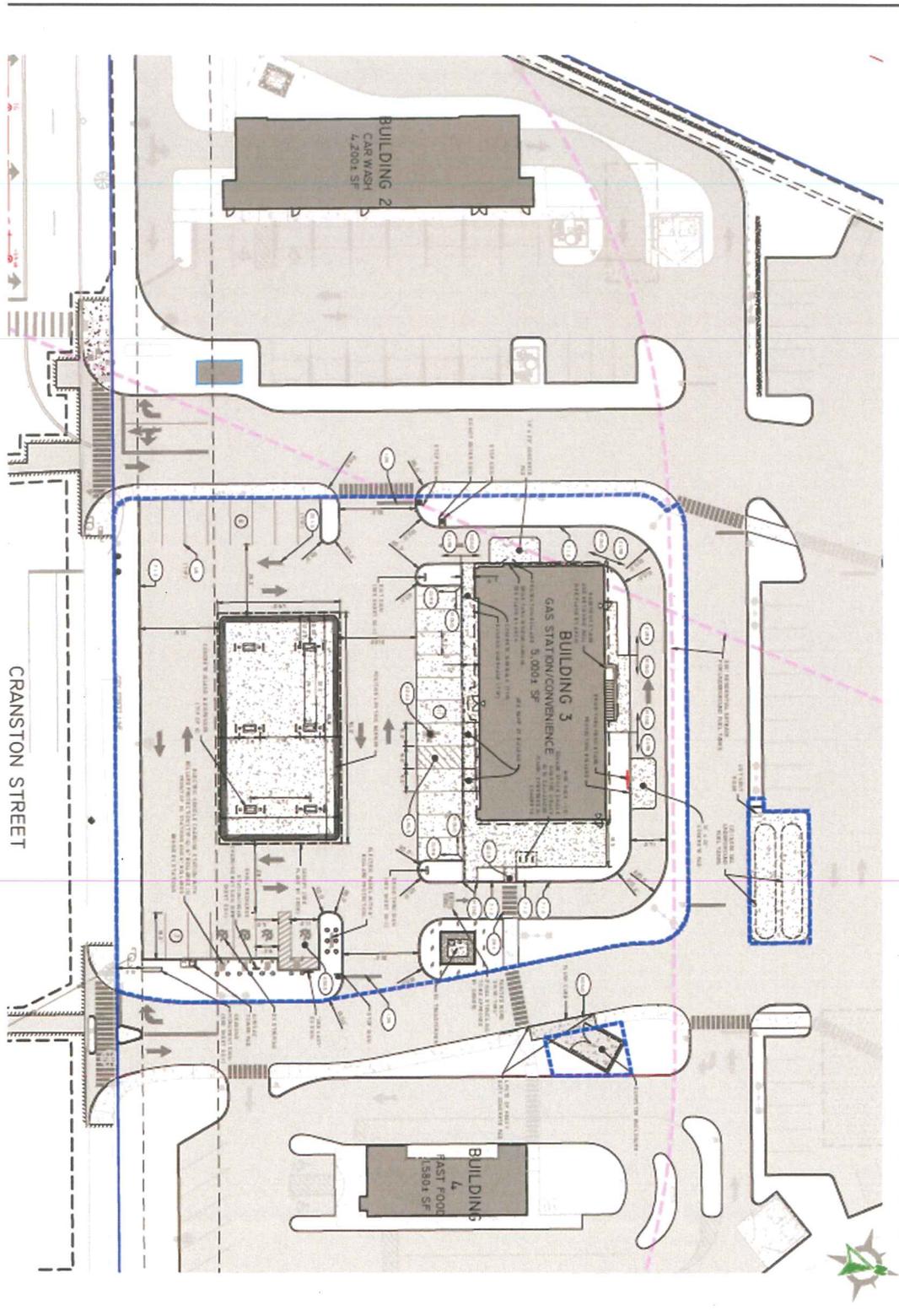
Further, Applicant's proposed development will provide opportunities to the northeastern Cranston community and the City at-large by providing certain support services to the northeastern Cranston community, including the ability to purchase food stuffs, gasoline, electric vehicle charging stations, and fifteen (15) to thirty (30) additional employment opportunities as well. The proposed development will enhance the character and quality of the surrounding community by providing a full-service convenience store, drive-in restaurant, new gas pumps and electric vehicle charging with close proximity to Route 10 and of the surrounding residential neighborhoods.

Fourth, the relief requested is the least amount of relief necessary to assist Applicant in its full use and enjoyment of the Premises, in that the relief requested is limited to Applicant's proposed signage and building height. The requested relief is necessary to allow for clear visibility for customers and to conform with Applicant's unique design features of its other convenience stores and fueling stations.

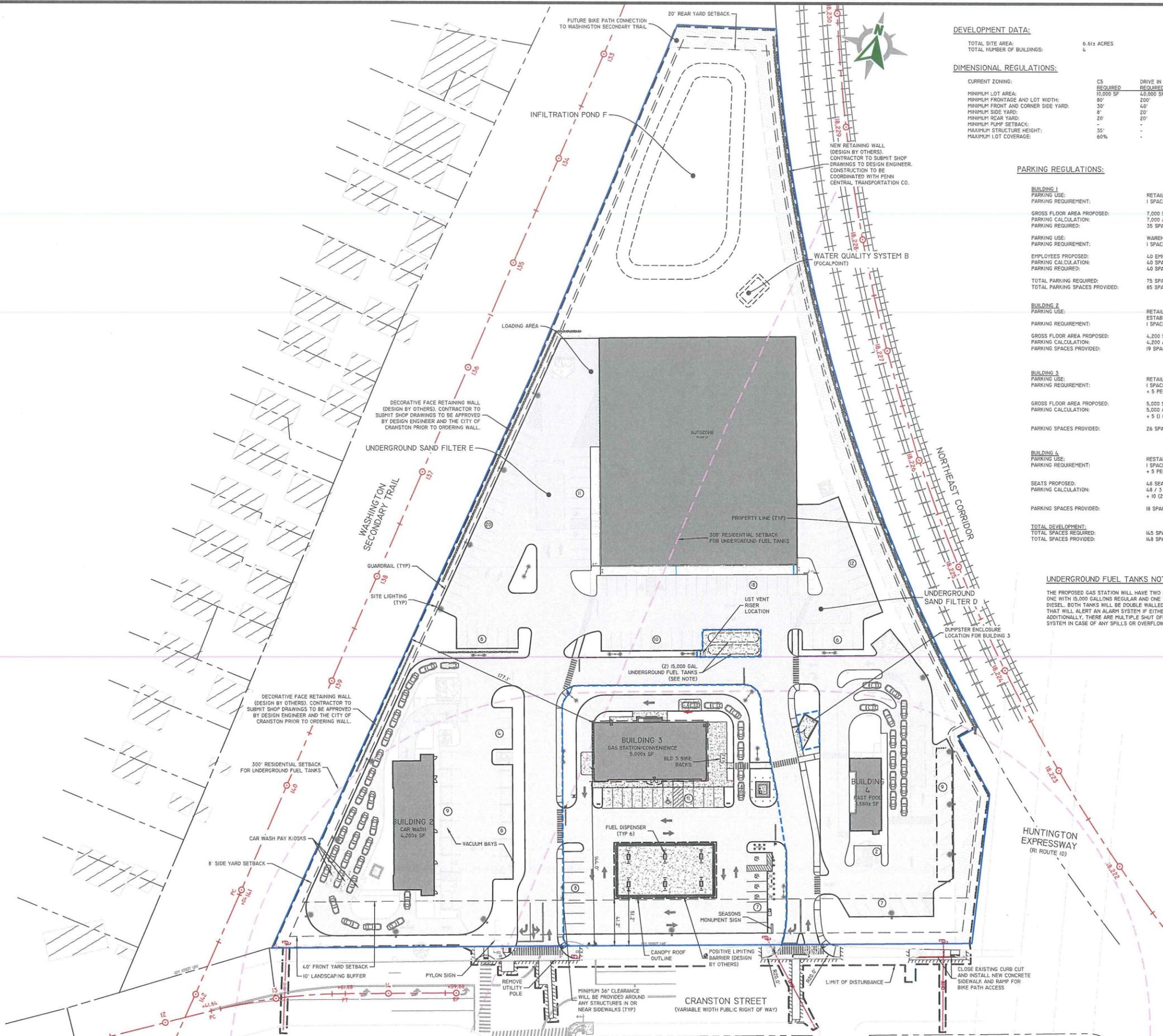
Finally, the hardship suffered by the Applicant if the dimensional variances are not granted shall amount to more than a mere inconvenience in that Applicant is proposing to construct a fuel station minimart, convenience store and a drive-in restaurant substantially similar to the other convenience stores and gas fueling stations owned by Applicant and a significant deviation from its proposed plans will add significant expenses to the project and ultimately may cause the development to be unfeasible. Further, as to certain requested signage relief, as both a benefit to the Applicant and a service to its potential customers, the Applicant must have the ability to clearly display the gasoline pricing at the Premises.

¹ Goals of the Comprehensive Plan: 1. Preserve and increase employment opportunities 2. Import capital and expand Cranston's economic base 3. Expand the industrial and commercial tax base. 4. Industrial and commercial revitalization.

Exhibit A
THE PREMISES



Z:\DEMAN\PROJECTS\29756-001 CRANSTON STREET 1771\AUTOCAD DRAWINGS\29756-001-PLAN-SEASONS-ZONING.DWG PLOTTER: 5/25/2023



DEVELOPMENT DATA:

TOTAL SITE AREA: 6.61± ACRES
 TOTAL NUMBER OF BUILDINGS: 4

DIMENSIONAL REGULATIONS:

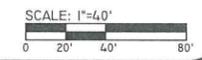
CURRENT ZONING:	CS REQUIRED	DRIVE IN REQUIRED	GAS REQUIRED	BUILDING 3 PROVIDED
MINIMUM LOT AREA:	10,000 SF	48,000 SF	12,000 SF	
MINIMUM FRONTAGE AND LOT WIDTH:	80'	200'	120'	624'
MINIMUM FRONT AND CORNER SIDE YARD:	30'	40'	40'	144.0'
MINIMUM SIDE YARD:	8'	20'	10'	176.3'
MINIMUM REAR YARD:	20'	20'	10'	282'
MINIMUM PUMP SETBACK:	-	-	15'	51.2'
MINIMUM STRUCTURE HEIGHT:	35'	-	-	135'
MAXIMUM LOT COVERAGE:	60%	-	-	16%

PARKING REGULATIONS:

BUILDING 1	ESTABLISHMENT
PARKING USE: RETAIL	
PARKING REQUIREMENT: 1 SPACE PER 200 SF GFA	
GROSS FLOOR AREA PROPOSED: 7,000 SF	
PARKING CALCULATION: 7,000 / 200 = 35 SPACES	
PARKING PROVIDED: 35 SPACES	
BUILDING 2	ESTABLISHMENT
PARKING USE: RETAIL/SERVICE EXCEPT EATING/DRINKING	
PARKING REQUIREMENT: 1 SPACE PER 300 SF GFA	
GROSS FLOOR AREA PROPOSED: 4,200 SF	
PARKING CALCULATION: 4,200 / 300 = 14 SPACES	
PARKING PROVIDED: 19 SPACES (1 HANDICAP)	
BUILDING 3	ESTABLISHMENT
PARKING USE: RETAIL >5000 SF	
PARKING REQUIREMENT: 1 SPACE PER 200 SF GFA + 5 PER DRIVE-IN ORDERING STATION	
GROSS FLOOR AREA PROPOSED: 5,000 SF	
PARKING CALCULATION: 5,000 / 200 = 25 SPACES + 5 (1 ORDER STATION) = 30 SPACES	
PARKING PROVIDED: 26 SPACES (2 HANDICAP)	
BUILDING 4	ESTABLISHMENT
PARKING USE: RESTAURANT	
PARKING REQUIREMENT: 1 SPACE PER 3 SEATS + 5 PER DRIVE-IN ORDERING STATION	
SEATS PROPOSED: 48 SEATS	
PARKING CALCULATION: 48 / 3 = 16 SPACES + 10 (2 ORDER STATIONS) = 26 SPACES	
PARKING PROVIDED: 18 SPACES (2 HANDICAP)	
TOTAL DEVELOPMENT:	ESTABLISHMENT
TOTAL SPACES REQUIRED: 145 SPACES	
TOTAL SPACES PROVIDED: 148 SPACES	

UNDERGROUND FUEL TANKS NOTE:

THE PROPOSED GAS STATION WILL HAVE TWO 15,000 GALLON UNDERGROUND STORAGE TANKS, ONE WITH 15,000 GALLONS REGULAR AND ONE WITH A 9,000/6,000 SPLIT BETWEEN SUPER AND DIESEL. BOTH TANKS WILL BE DOUBLE WALLED WITH SENSORS IN BETWEEN THE TANK LAYERS THAT WILL ALERT AN ALARM SYSTEM IF EITHER OF THE TANK WALLS ARE PENETRATED. ADDITIONALLY, THERE ARE MULTIPLE SHUT OFF VALVES AND SENSORS THROUGHOUT THE SYSTEM IN CASE OF ANY SPILLS OR OVERFLOWS.



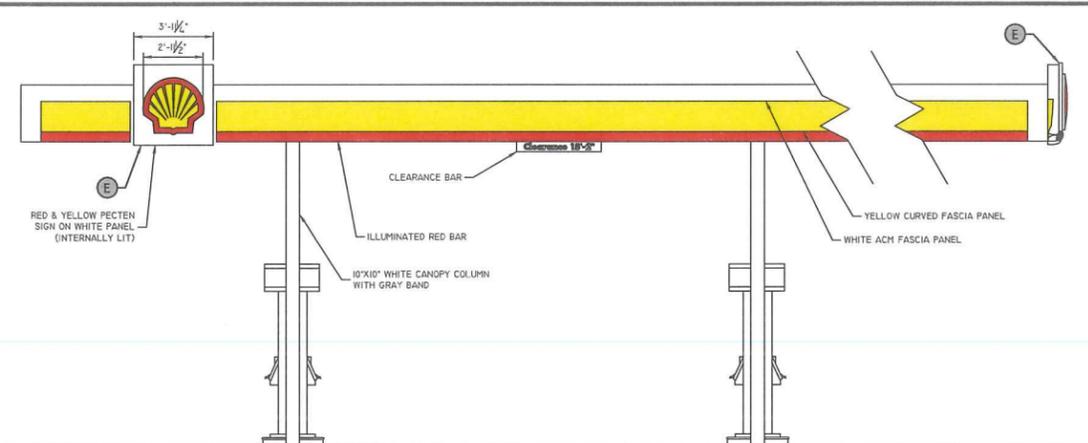
Diprete Engineering
 Two Stafford Court Cranston, RI 02920
 tel:401-943-1000 fax:401-464-6000 www.diprete-eng.com

DANA R. NISSET
 No. 11876
 REGISTERED PROFESSIONAL ENGINEER CIVIL

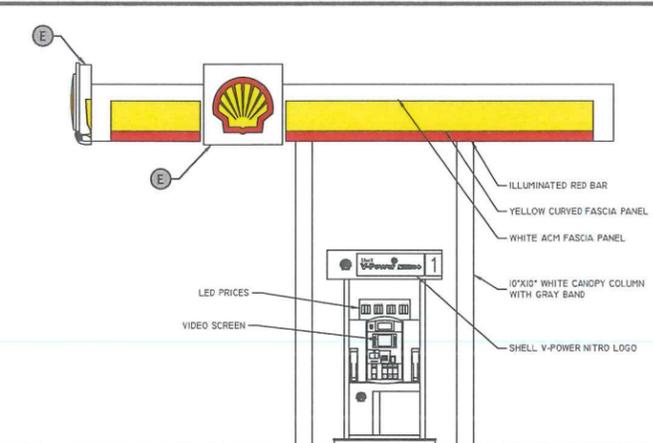
THIS PLAN SET MAY BE USED FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF DIPRETE ENGINEERING. UNLESS SPECIFICALLY NOTED FOR CONSTRUCTION AND STAMPED BY DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING DESIGN. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE PERMITS AND COMPLIANCE IN THE IMPLEMENTATION OF THIS PLAN. AND EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATION OF EXISTING UTILITIES.

NO.	REVISIONS	DATE	CONTRACTOR	DESCRIPTION	DESIGNED BY	BY
1	ISSUED FOR PERMITS				RBS	
2	ISSUED FOR PERMITS				RBS	
3	ISSUED FOR PERMITS				RBS	

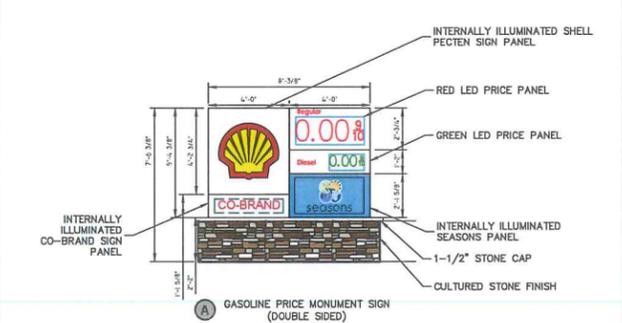
OVERALL SITE LAYOUT
SEASONS CORNER MARKET
 ASSESSOR'S PLAT 7/2 LOT 1
 CRANSTON, RHODE ISLAND
 PREPARED FOR: COLBEA ENTERPRISES
 605 GEORGE WASHINGTON HIGHWAY, LINCOLN, RI 02865
 TEL: 401-943-0005



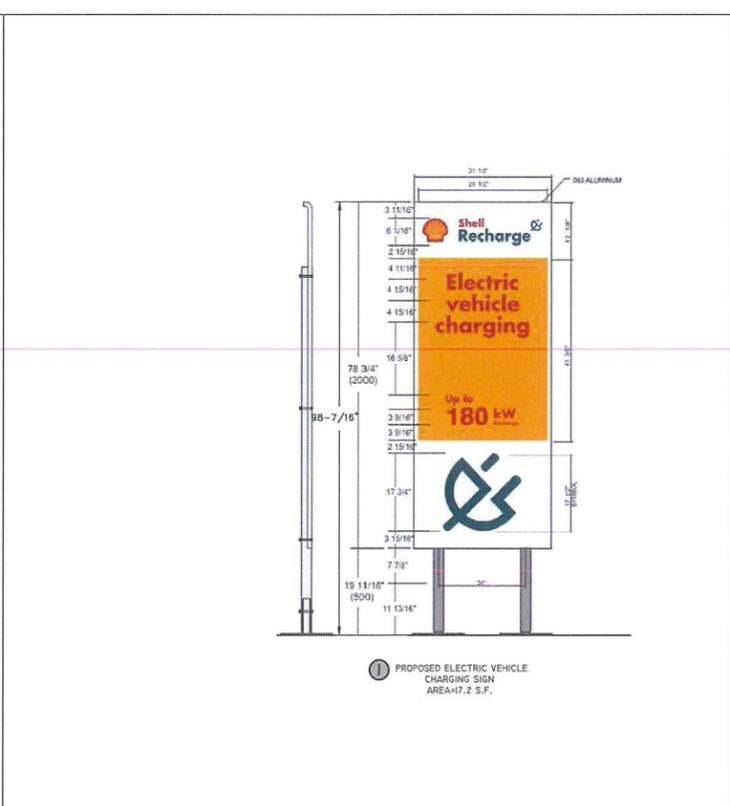
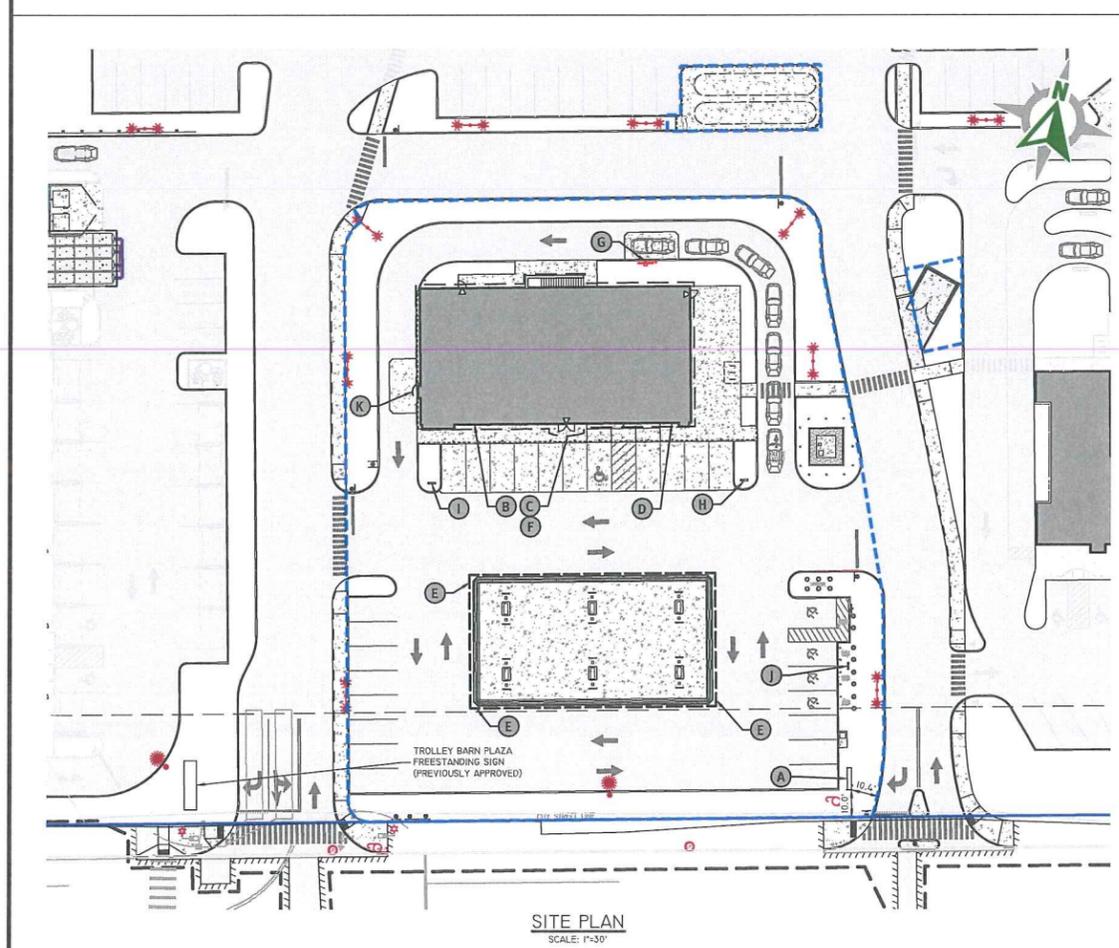
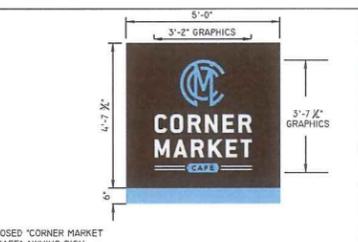
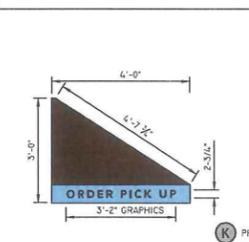
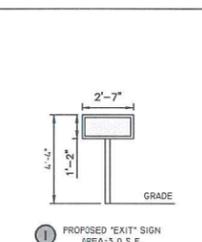
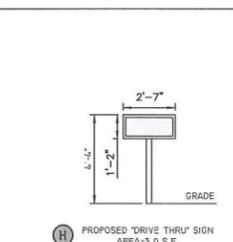
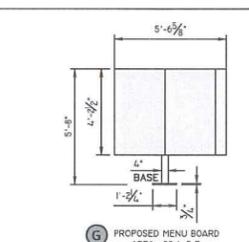
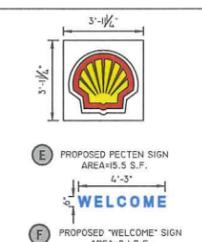
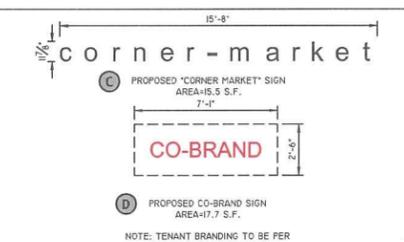
Proposed Front Canopy Elevation
SCALE: 1/4"=1'-0"



Proposed Side Canopies Elevation
SCALE: 1/4"=1'-0"



Main ID Note:
1. SIGN IS DOUBLE SIDED AND HAS COPY ON EACH SIDE AS SHOWN ABOVE.
2. SIGN IS IDENTICAL ON EACH SIDE.
3. MONUMENT SIGN AND BASE DESIGN BY FEDERAL HEALTH.



SIGN SCOPE OF WORK NOTE:

- ALL SIGNAGE SHOWN ON THIS SHEET FOR REFERENCE ONLY.
- INSTALLATION OF SIGN COMPONENTS AND SIGN MATERIALS PROVIDED BY OWNER.
- FOOTINGS AND POWER SUPPLY BY CONTRACTOR.
- ALL SIGNS AND ANCILLARY SIGNAGE/BRANDING ITEMS TO BE PROVIDED AND DIRECTED BY COLBEA ENTERPRISES.
- CANOPY FOOTINGS WILL BE DESIGNED BY CANOPY SUPPLIER IN ACCORDANCE WITH ALL APPLICABLE CODES AND DESIGN STANDARDS. CANOPY FOOTINGS WILL BE PLACED BY GC IN STRICT CONFORMANCE TO FOOTING DESIGN, INCLUDING EXCAVATION, FORMING, ANCHOR BOLTS, STEEL PLACEMENT, DOWELING, CONCRETE PLACEMENT, ETC.
- MATERIALS AND COLORS DESIGNATED ON THIS PLAN ARE SUBJECT TO CHANGE BASED ON AVAILABILITY AND MOST RECENT SHELL BRAND STANDARDS.

PROPOSED SIGN SCHEDULE

MARK	DESCRIPTION	SIZE	AREA (SF)	QUAN.	ILLUMINATION	TYPE
TOTAL PROPOSED SIGNAGE: 311.8 S.F.						
MONUMENT SIGNS						
A	GASOLINE PRICE SIGN (DOUBLE-SIDED)	8'-3/8" X 5'-4 3/4"	86.2	1	INT	MONUMENT
TOTAL MONUMENT SIGNAGE: 86.2 S.F.						
FREESTANDING SIGNS						
J	EV STATION SIGN	6'-7" X 2'-7"	17.2	1	N/A	FREESTANDING
G	MENU BOARD	5'-6 3/4" X 4'-2 1/2"	23.4	1	INT	FREESTANDING
TOTAL PROPOSED FREESTANDING SIGNAGE: 40.6 S.F.						
WALL SIGNS						
B	"SEASONS" SIGN	24'-3 1/4" X 3'-0"	85.0	1	INT	WALL
C	"CORNER MARKET" SIGN	15'-8" X 0'-11 1/2"	15.5	1	EXT	WALL
D	CO-BRAND SIGN	7'-1" X 2'-6"	17.7	1	INT	WALL
TOTAL WALL SIGNAGE: 118.2 S.F.						
CANOPY SIGNS						
E	PECTEN SIGN	5'-1 1/2" X 3'-1 1/2"	15.5	3	INT	CANOPY
K	CORNER MARKET CAFE AWNING SIGN	5'-0" X 4'-7 1/2"	12.2	1	N/A	CANOPY
TOTAL CANOPY SIGNAGE: 27.7 S.F.						
INCIDENTAL SIGNS						
F	"WELCOME"	4'-3" X 0'-6"	2.1	1	INT	INCIDENTAL
H	DRIVE-THRU SIGN	1'-2" X 2'-7"	3.0	1	INT	INCIDENTAL
I	EXIT SIGN	1'-2" X 2'-7"	3.0	1	INT	INCIDENTAL
TOTAL INCIDENTAL SIGNAGE: 8.1 S.F.						

SIGNAGE PLAN & ELEVATIONS SHEET SG-1

SEASONS CORNER MARKET
777 CRANSTON STREET
CRANSTON, RI

ASSESSORS PLAT 7/2 LOT 1

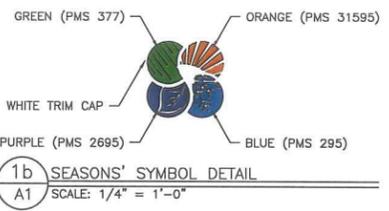
PREPARED BY:

SCALE: NOT TO SCALE DATE: 05/25/2023

2023/01/27 12:22 PM

F:\4242\22-2000\5 COLBEA - CRANSTON, RIVE-CVA\AUTOV AD\SHEET\A2 RENDERED BUILDING ELEVATIONS.DWG

02/28/22 8:30 AM C:\Users\jfrank\OneDrive\Documents\Projects\4242\22-2000\5 COLBEA - CRANSTON, RIVE-CVA\AUTOV AD\SHEET\A2 RENDERED BUILDING ELEVATIONS.DWG



T/ CUPOLA
ELEV. ± 38'-2 1/2"

T/ RIDGE
ELEV. 28'-7 1/4"

T/ SEASONS' ARCH
ELEV. 20'-0"

T/ DBL PLATE
ELEV. 14'-2 1/2"

T/ STOREFRONT
ELEV. 11'-4"

T/ MULLION
ELEV. 9'-2"

T/ MULLION
ELEV. 3'-6"

T/ MAIN LEVEL SLAB
ELEV. 0'-0"

T/ BASEMENT SLAB
ELEV. -10'-2"

B/ FOOTING
ELEV. -11'-10"

"SEASONS" LETTERING COLOR:
FLAT BLUE WITH BLUE TRIM CAP

METAL COMPOSITE PANEL
COLOR: DURAGLOSS 5000
"WOODGRAIN" BY ALCOA, TYP.

HARDIE TRIM, COLOR TO
MATCH SIDING

STONE VENEER, COLOR:
TERRACOTTA BY
REALSTONE SYSTEMS

T/ MAIN LEVEL SLAB
ELEV. 0'-0"

1 FRONT ELEVATION
A1 SCALE: 1/4" = 1'-0"



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THE REQUEST OF THE CLIENT AND
CONTAINS INFORMATION THAT IS
SPECIFIC TO THAT PROJECT AND NOT
FOR REUSE ON ANY OTHER PROJECT.
IT IS THE USER'S RESPONSIBILITY TO
OBTAIN PERMISSION FROM THE
DESIGNER BEFORE REUSE ON ANY
OTHER PROJECT. THE USER SHALL
OBTAIN PERMISSION FROM THE
DESIGNER BEFORE REUSE ON ANY
OTHER PROJECT. THE USER SHALL
OBTAIN PERMISSION FROM THE
DESIGNER BEFORE REUSE ON ANY
OTHER PROJECT.

PREPARED FOR

COLBEA ENTERPRISES, LLC

777 CRANSTON STREET, CRANSTON RI

JOB NUMBER: 42-22-20005

ISSUE BLOCK

ZONING SUB	DATE
01/27/23	

CHECKED BY: SMP

DRAWN BY: HAL

DOCUMENT DATE: 12/02/22

SHEET DESCRIPTION
RENDERED
BUILDING
ELEVATIONS
- FRONT

SHEET: **A1**

2025/01/27 12:23 PM
 F:\M242-22-20093\COLBEA - CRANSTON, RIVE-CD\AUTOCAD\SHIELD\ISA2 RENDERED BUILDING ELEVATIONS.DWG
 02/20/21 8:53 AM
 C:\ProgramData\Autodesk\LT2021\Help\Project41-4010 New Material CT - Arch_V2.mtl
 401014\FBA\COLBEA\AN\REFLECTED CEILING PLAN

T/ CUPOLA
ELEV. ± 36'-2 1/2"

T/ RIDGE
ELEV. 28'-7 1/4" ±

T/ DBL PLATE
ELEV. 14'-2 1/2"

3-1/2" HARDIE CORNER TRIM, COLOR TO MATCH SIDING, TYP.

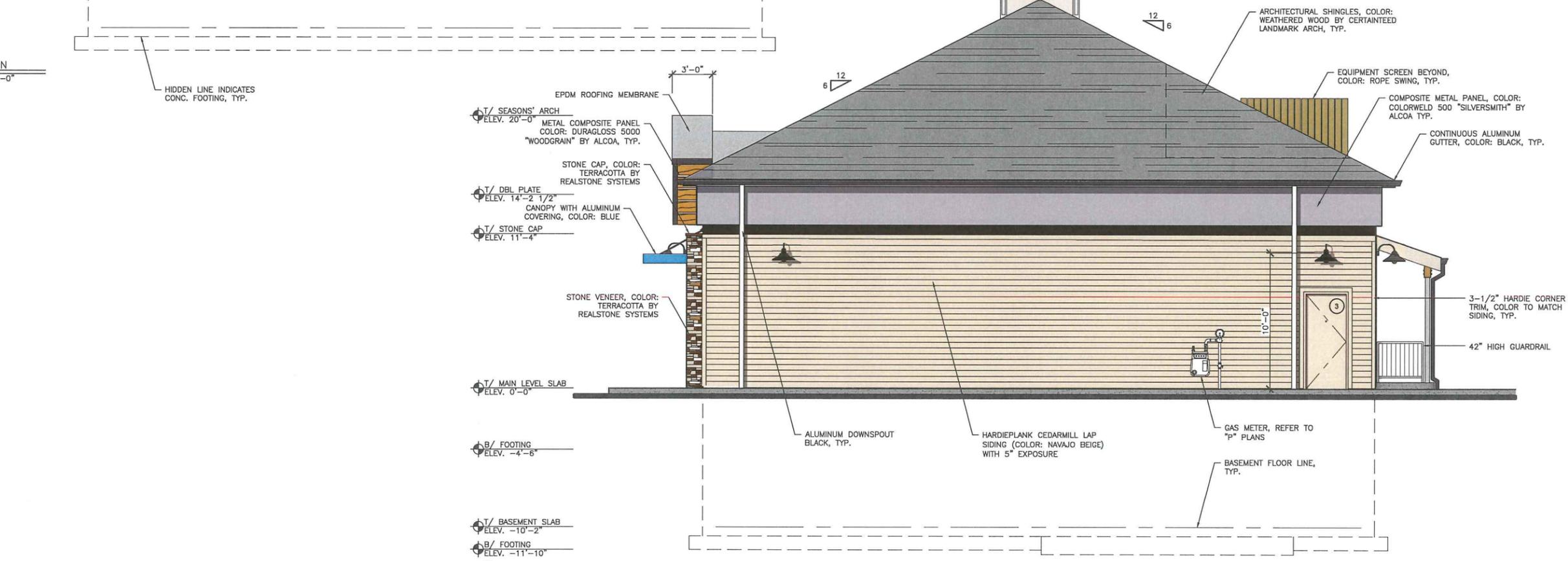
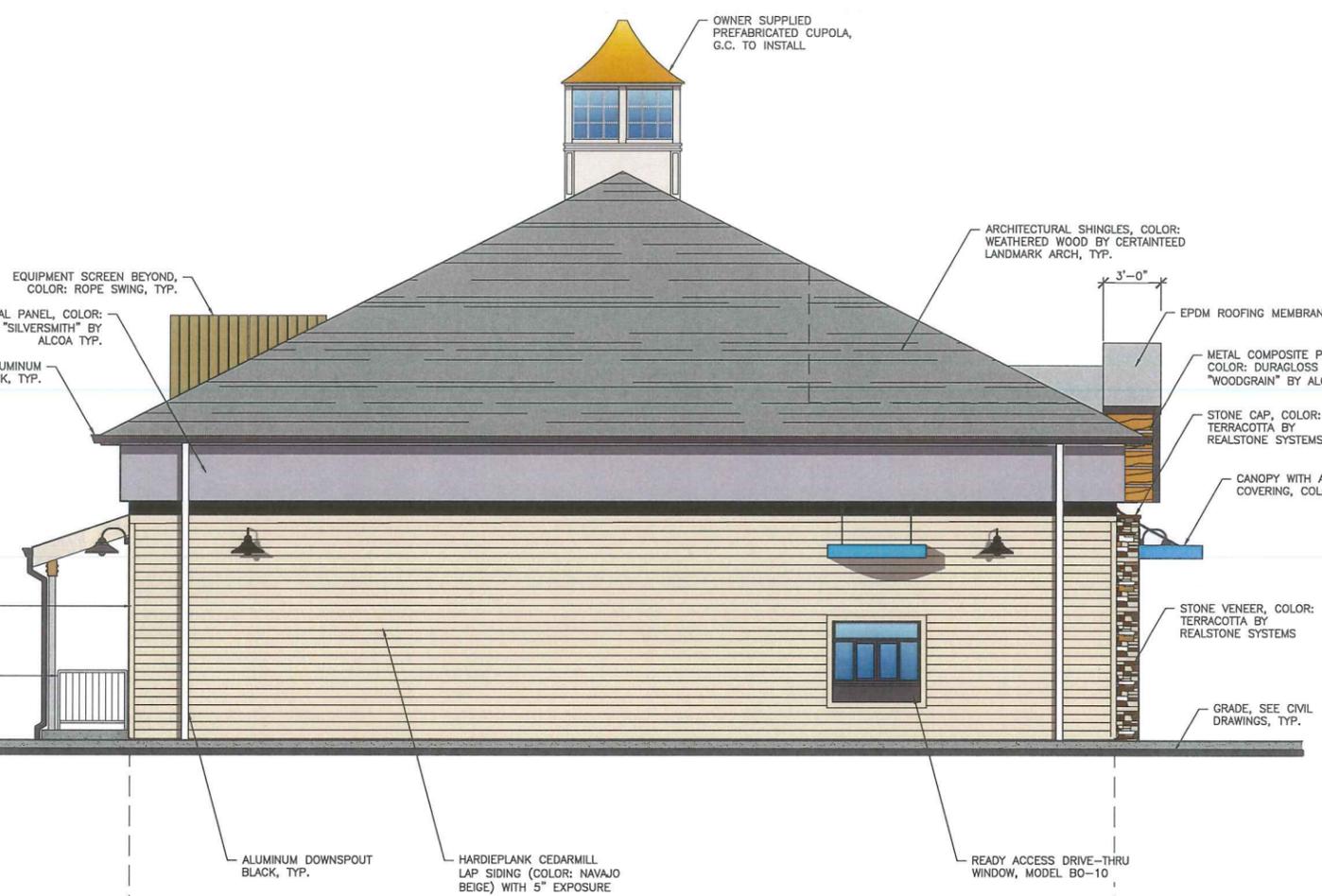
42" HIGH GUARDRAIL

T/ MAIN LEVEL SLAB
ELEV. 0'-0"

T/ BASEMENT SLAB
ELEV. -10'-2"

B/ FOOTING
ELEV. -11'-10"

2 LEFT ELEVATION
A2 SCALE: 1/4" = 1'-0"



1 RIGHT ELEVATION
A2.1 SCALE: 1/4" = 1'-0"

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR
USE ON A SPECIFIC SITE AT
THE LOCATION AND DATE INDICATED
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OR USED FOR ANY OTHER PROJECT
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REUSE ON ANOTHER PROJECT IS NOT
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CONSENT OF THE FIRM.

PREPARED FOR
COLBEA ENTERPRISES, LLC
777 CRANSTON STREET, CRANSTON RI
JOB NUMBER: 42-22-20093

ISSUE BLOCK

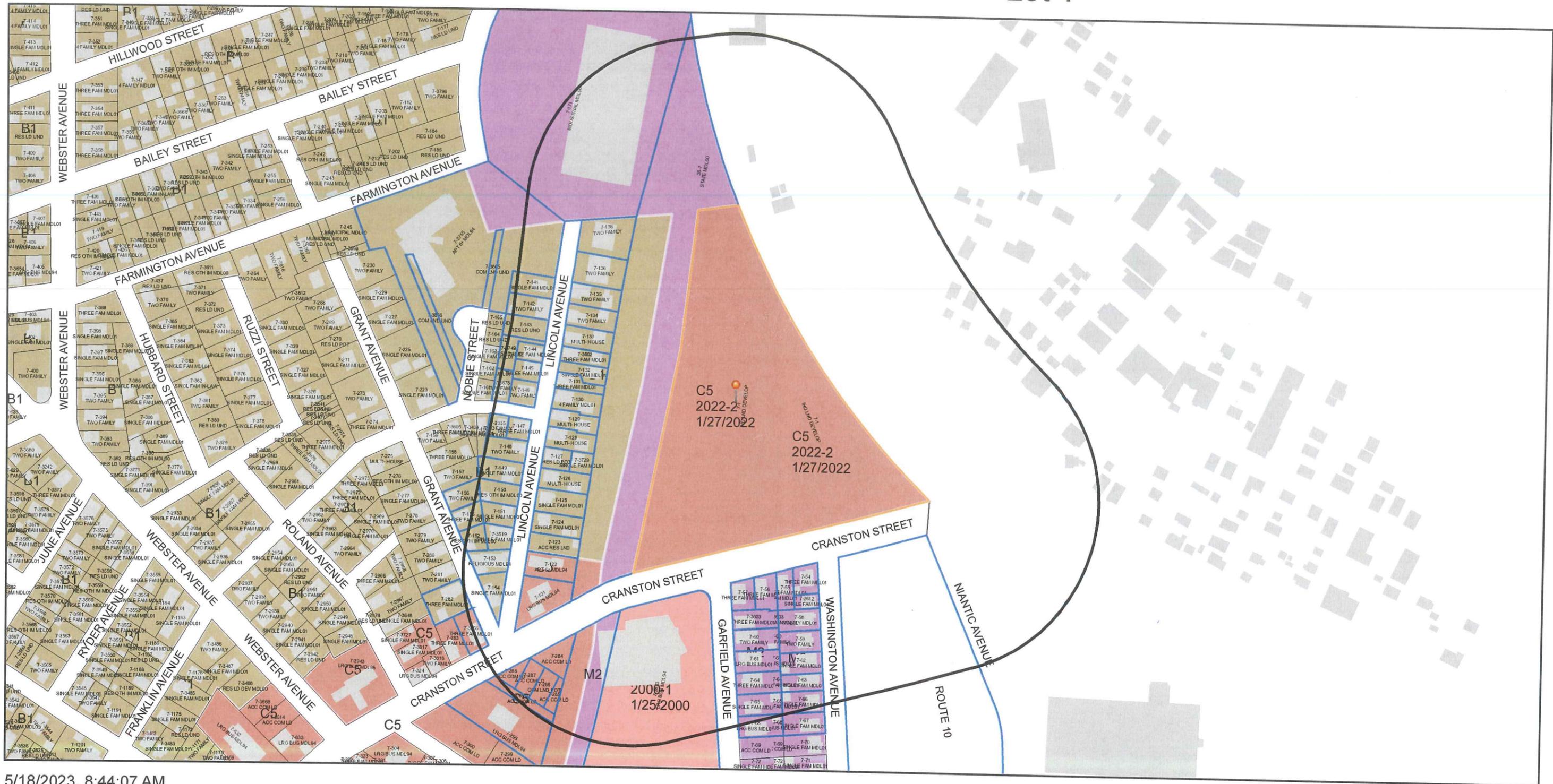
ZONING SUB	01/27/23

CHECKED BY: SMP
DRAWN BY: HAL
DOCUMENT DATE: 12/02/22

SHEET DESCRIPTION
RENDERED BUILDING ELEVATIONS - LEFT & RIGHT

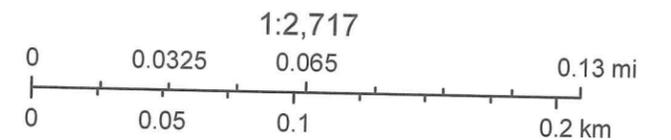
SHEET: A2

777 Cranston St 400' Radius Plat 7 Lot 1



5/18/2023, 8:44:07 AM

UserSelectedParcels		Parcels		A80		B2		M1
vParcels_Buffer		Buildings		A20		C1		M2
ParcelsInBufferOutput		Zoning Dimensions		A12		C2		EI
Parcel ID Labels		Historic Overlay District		A8		C3		MPD
Streets Names		Zoning		A6		C4		S1
Cranston Boundary		none		B1		C5		Other



City of Cranston